

Accessibility Assessment Report

Design Development Report
World Class End of Life Program
Tamworth Hospital

Prepared for:
Health Infrastructure

Revision 1
28 March 2025
Reference: N24096



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Executive Summary

The following comprises a summary of the key compliance issues identified under the clause-by-clause assessment in Section 3.0 and 4.0 that will be addressed prior to the issue of the BCA Crown Certificate for the project

A. Key Compliance Items:

+ BCA (DtS) Clause	+ Description
1. Access to Premises Standard 2010	<p>This may require an upgrade of the affected part (which is the pathway/corridor from the main entry to the areas of refurbished works). BM+G will conduct an on-site inspection to assess these key compliance matters prior to Crown Certification Stage. A review of the accessways and existing accessible sanitary facilities will be reviewed for an assessment to be undertaken in accordance with the Access to Premises Standard.</p> <p>In the event that DtS compliance is not achieved with the requirements of Part D4 (above), a redesign will be required or an access performance solution will need to be documented by an appropriately qualified Access Consultant.</p>
2. D4D3	<p>In accordance with the Access to Premises Standards, access will be required to be provided from the Main Entrance of the building to the refurbishment area on level 00. In this instance, BM+G will conduct an on-site inspection prior to Crown Certification Stage. Also, it is assumed an accessible pedestrian link has been provided from adjoining accessible buildings on the allotment and from existing accessible car parking spaces, this will be assessed prior to Crown Certification Stage via on-site inspection.</p>
3. D4D4	<p>Regarding the door track for any sliding doors, gaps within the track and any other grates are not to exceed 8mm wide openings.</p> <p>Provide detail to verify the minimum luminance contrast of 30% for all accessible doors which is to be provided with one of the requirements a) – e) nominated clause 13.1 of AS 1428.1-2009 for instance contrast provided between door leaf and door jamb.</p> <p>Indicate the location of the sliding door push buttons in accordance with clause 13.5.3 of AS 1428.1, provide additional detail at Crown Certification ensure it is 500mm clear from any internal corner. Also, regarding nurse call buttons for patient users it is recommended to be proposed at height between 600-1100mm above FFL.</p> <p>The overnight bedroom and ensuite 01.03.006, switches and GPO's are to be provided in accordance with clause 14.2 of AS 1428.1.</p>
4. D4D4	<p>Latch-side clearance and/or doorway circulation are impeded at the following locations:</p> <ul style="list-style-type: none"> + From the inside of the dining recreation room the sliding door when in the closed position does not achieve a minimum 530mm latch-side clearance it is currently obstructed from the wall. Also, verification is required if the door as accessed via corridor 01.99.001 is a sliding provided or swing door.
5. D4D5	<p>The following areas are to be confirmed by LHD as an exempt room at the Crown Certificate Stage:</p> <ul style="list-style-type: none"> + Laundry pantry room 01.03.007 + B Linen room 01.04.013

		<ul style="list-style-type: none"> + Cleaner room 01.04.017 + Dispenser room 01.04.018 + B Meq room 01.04.015 	<ul style="list-style-type: none"> + Store GN room 01.04.009 + Dirty utility room 01.04.007 + Store equipment room 01.04.008 + Clinical medical room 01.04.005
6.	D4D8	Provide confirmation of any inbuilt amplification system to be proposed for the subject development works this may include within meeting room 20 "01.04.002".	
7.	D4D12	If any proposed steps are to be located within door thresholds this may include the Palliative Care courtyard doors, it will be required to be provided with a door threshold ramp and/or to be addressed as an access performance solution .	
8.	F4D5	<p>Having regard to the proposed design, BM+G provide the following comments:</p> <ul style="list-style-type: none"> + Verification is required as to whether the accessible sanitary facility proposed within the existing Palliative Care Unit will be a communal unisex accessible sanitary facility that could be used by the public and staff. + The unisex staff sanitary facility proposed within the new Palliative Care Unit will be required to be a unisex ambulant sanitary compartment. 	
9.	F4D5	The overnight ensuite is required to be designed as an accessible WC, plan amendments will be required where the dimension of this room is to be reconfigured to achieve a minimum width of 1900mm and depth of 2300mm in accordance with figure 50 of AS 1428.1-2009.	
10.	F4D5	The staff ambulant WC 01.05.010, the width at the toilet pan is required to achieve 900-920mm, it was measured less than 900mm wide. Also, the coat hook is required to be 1350-1500mm above FFL	
11.	F4D5	<ul style="list-style-type: none"> + The ensuite accessible WC 01.02.012, the washbasin encroaches within the clear circulation space of the doorway a minimum 300mm distance is required. + The ensuite accessible WC 01.02.012, the towel and soap dispensers are required to be more than 500mm from an internal corner. Also, the towel and soap dispensers are required to be 900-1100mm above FFL. 	
12.	F4D5	<ul style="list-style-type: none"> + The accessible WC 01.03.004, the bin provided under the washbasin obstructs the required circulation space for knee and toe turning space, a minimum 300mm clearance are required. + The accessible WC 01.03.004, the washbasin is to achieve a clear height of 800-830mm above FFL, it was measured as 860mm. + The accessible WC 01.03.004, the soap dispenser is required to be more than 500mm from an internal corner. Also, the towel and soap dispensers are required to be 900-1100mm above FFL. + The accessible WC 01.03.004, when the baby change toilet is in the open position ensure it does not exceed 820mm above FFL 	

B. Matters requiring accessibility performance solutions:

+ BCA (DtS) Clause	+ Description
1. D4D12	If any proposed steps are to be located within door thresholds this may include the Palliative Care courtyard doors, it will be required to be provided with a door threshold ramp and/or to be addressed as an access performance solution .

2.	F4D5	Any proposed drop-down grab rails provided to the accessible WC's are to be justified via access performance solution alternatively, propose fixed grabrail as per AS 1428.1.
3.	F4D5	The provision of unisex ambulant sanitary compartments in lieu of separate facilities for males and females throughout the building will be required to be assessed as part of an access performance solution to be prepared by an Access Consultant.

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+ Report Status

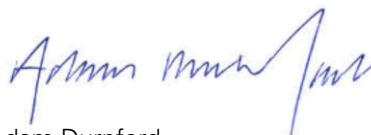
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1.0 Description of Project

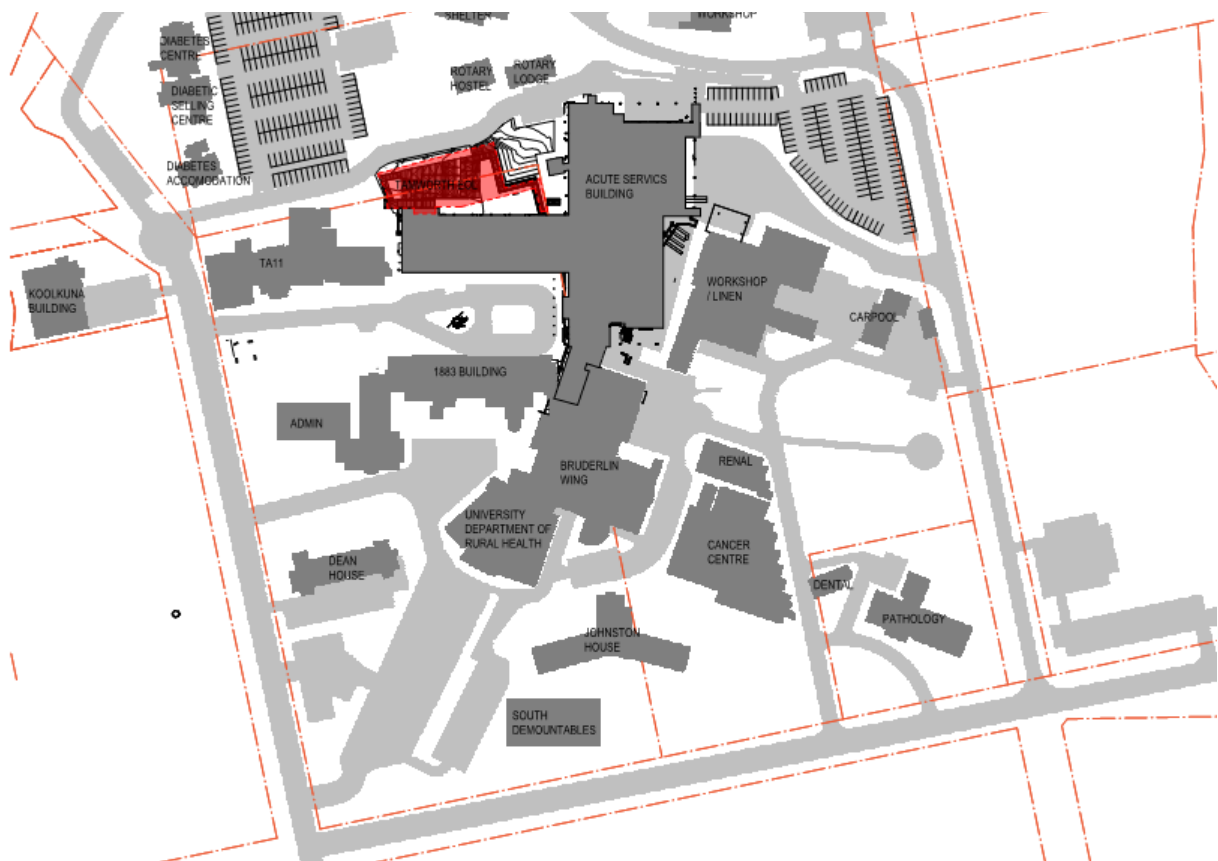
1.1 Proposal

BM+G Pty Ltd have been commissioned by Health Infrastructure C/- Capital Insight Pty Ltd to undertake an assessment of the Design Development comprising delivery of six (6) new Palliative Care beds for the Hunter New England Local Health District (HNELHD) within Level 00 of the Existing Acute Services Building (ASB) at Tamworth Hospital against the Disability (Access to Premises – Buildings) Standards 2010 and Part D4 provisions of the Building Code of Australia 2022 (BCA).

For the Tamworth Campus, a total of ten locations were considered in 3 separate workshops to locate the new Palliative Care Unit. Throughout the workshop and multiple reviews between stakeholders, Option 1C has been selected as the proposed Masterplan Design.

Option 1C is located Level 00 and adjoins the existing Palliative Care Unit within the ASB with the proposed extension providing a physical link back to the ASB core in an enclosed linkway for bed movements into the ASB (i.e. not traversing through the medical IPU) and for the healthshare trolley link. The proposed extension is detailed in the figure below.

An assessment of DDA compliance with respect to the new works is included within Section 3.0.



1.2 Aim

The aim of this report is to:

- + Undertake an assessment of the proposed development against the Disability (Access to Premises – Buildings) Standards 2010.
- + Undertake an assessment of the proposed development against the Part D4 deemed-to-satisfy provisions of the BCA;
- + Identify matters that require plan amendments in order to achieve compliance with the Access to Premises Standard and Part D4 of the BCA;
- + Identify matters that are to be required to be addressed by Performance Solutions.

1.3 Project Team

The following BM+G Team Members have contributed to this Report:

- + **Charlie Ibrahim** – Report Preparation (Access Consultant) | Building Surveyor-Unrestricted
- + **Adam Durnford** – Peer Review (Director) | Building Surveyor-Unrestricted
- + **Michael Potts** – Peer Review (Senior Access Consultant) | ACAA Member & Certificate IV in Access Consulting

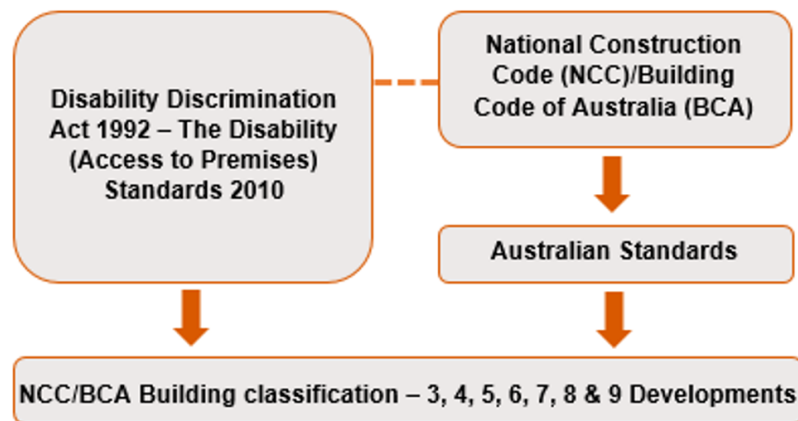
1.4 Referenced Documentation

The following documentation has been reviewed, referenced and/or relied upon in the preparation of this report:

- + Disability (Access to Premises – Buildings) Standards 2010
- + Building Code of Australia 2022 (BCA)
- + The Guide to the Building Code of Australia 2022
- + AS 1428.1:2009 Design for access and mobility - General requirements for access - New building work
- + AS1428.2:1992 Design for access and mobility - Enhanced and additional requirements - Buildings and facilities
- + AS1428.4.1:2009 Design for access and mobility - Means to assist the orientation of people with vision impairment - Tactile ground surface indicators
- + HB198:2014 Guide to the specification and testing of slip resistance of pedestrian surfaces
- + Design Development Architectural Drawings issued by Architectus Conrad Gargett dated 07 March 2025 (Revision A) and 14 March 2025 (Revision A & B).

1.5 Regulatory Framework

The below figure represents the statutory framework addressing accessibility as noted in the below Act, Code and Standards.



The Disability Discrimination Act 1992 (DDA) is Commonwealth legislation enacted in 1993 that seeks to ensure that all new building infrastructure, refurbishments, services and transport projects provide independent and equitable access. The DDA is a complaints based legislation administered by the Australian Human Rights Commission (AHRC).

Subordinate to the DDA are the Disability Standards, which include; Disability (Access to Premises – Buildings) Standards 2010, Disability Standards for Education 2005, and the Disability Standards for Accessible Public Transport 2002. These Disability standards refer back to the AS 1428 suite of standards and Building Code of Australia.

Since 2011, the Building Code of Australia has adopted the key accessibility provisions of the Disability (Access to Premises – Buildings) Standards 2010, with compliance with AS 1428.1 – 2009, AS 1428.4.1 – 2009, and AS 2890.6 – 2009 becoming mandatory. As such, compliance with the relevant sections of the BCA ensures compliance with the Disability (Access to Premises – Buildings) Standards 2010 and vicariously the DDA.

With respect to existing works, there are statutory upgrade requirements within the Disability (Access to Premises – Buildings) Standards 2010 that apply to all building works which require consent (including Crown building work). This relates to the upgrade of any 'affected part' of the building, which includes;

- + The principal pedestrian entry (i.e. entry door and ramp), and
- + The pathway / corridor / lift / ramp which form an accessible path of travel to any area of new work (note: only one accessible path of travel is required to any new part under this requirement).

Section 23 of the Disability Discrimination Act DDA 1992 states;

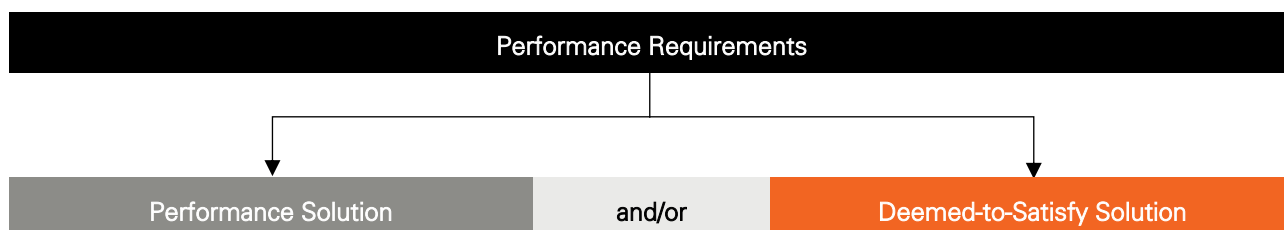
It is unlawful for a person to discriminate against another person on the ground of the other person's disability:

- *By refusing to allow the other person access to, or the use of, any premises that the public or a section of the public is entitled or allowed to enter or use (whether for payment or not); or*
- *In the terms or conditions on which the first-mentioned person is prepared to allow the other person access to, or the use of, any such premises; or*
- *In relation to the provision of means of access to such premises.*

The DDA Act 1992 is a complaints-based legislation whilst compliance with The Disability (Access to Premises) Standards 2010 affords some certainty regarding the minimum compliance requirements it does not prevent a claim being made under the DDA Act 1992. Whilst implementing the minimum compliance requirements under the Disability (Access to Premises) Standards 2010 and BCA will satisfy the minimum compliance requirements there is nothing preventing a greater degree of access than those minimum requirements specified.

Note: The below report also includes recommendations for best practice/non mandatory items for consideration by the project team stakeholders and as applicable have been identified in the below report in *italics*.

1.6 Compliance with the National Construction Code



Compliance with the NCC is achieved by complying with:

- + the Governing Requirements of the NCC; and
- + the Performance Requirements.

Performance Requirements are satisfied by one of the following, as shown in the Figure below:

- + A Performance Solution.
- + A Deemed-to-Satisfy Solution.
- + A combination of the above two options.

Where a *Performance Requirement* is proposed to be satisfied by a *Performance Solution*, the following steps must be undertaken:

- + Prepare a performance-based design brief in consultation with relevant stakeholders.
- + Carry out analysis, using one or more of the Assessment Methods listed in A2G2(2), as proposed by the performance-based design brief.
- + Evaluation the results against the acceptance criteria in the performance-based design brief.
- + Prepare a final report that includes:
 - All Performance Requirements and/or Deemed-to-Satisfy provisions identified through A2.2(3) or A2G4(3) as applicable; and
 - Identification of all Assessment Methods used; and
 - Details of steps (a) to (c); and
 - Confirmation that the Performance Requirement has been met; and
 - Details of conditions or limitations, if any exist, regarding the Performance Solution.

1.7 Limitations and Exclusions

The limitations and exclusions of this report are as follows:

- | | |
|---|--|
| <ul style="list-style-type: none"> + Evacuation of occupants with a disability. No assessment has been undertaken to consider the equitable evacuation of all occupants. + This report is based on a review of the referenced documents. At this point in time, no inspection | <ul style="list-style-type: none"> + No assessment has been undertaken unless it explicitly relates to the Access to Premises Standard of Part D4 of the BCA. As an example, AS 1428.2-1992 has not been assessed. + Please note that whilst the BCA specifies a minimum standard of compliance Part D4 of the |
|---|--|

has been undertaken to ascertain the current level of DDA compliance.

BCA for access and facilities for people with disabilities, compliance with such requirements may not necessarily preclude the possibility of a future complaint made under the DDA 1992. The DDA is a complaint based legislation and is presently not identified by the State Building Codes and Regulations. In this regard the building owner should be satisfied that their obligations under the DDA have been addressed.

- + BM+G has not undertaken an assessment of any Performance Solution Reports at the time of the preparation of this report.
- + The Report does not address matters in relation to the following Local Government Act and Regulations:

- + Work Health and Safety Act and Regulations.
- + Work Cover Authority requirements.
- + Water, drainage, gas, telecommunications and electricity supply authority requirements.
- + **BM+G** Pty Ltd cannot guarantee acceptance of this report by the Local Council, Fire & Rescue NSW or other approval authorities.
- + No part of this document may be reproduced in any form or by any means without written permission from **BM+G** Pty Ltd. This report is based solely on client instructions, and therefore should not be used by any third party without prior knowledge of such instructions.

1.8 Report Terminology

Access for People with Disabilities - Access to a building which is planned to minimise obstacles or hazard to disabled persons.

Accessible – Means having features to permit use by people with disabilities

Accessway – Means a continuous accessible path of travel to or within a building suitable for people with disabilities as defined in AS 1428.1

BCA Completion Certificate – A certificate issued at the completion of works which confirms the building is suitable for occupation in accordance with its classification under the BCA.

BCA Crown Certificate – A certificate issued against building works carried out by or on behalf of the Crown which verifies that the works comply with the requirements of the BCA prior to works commencing, subject to S6.28 of the Environmental Planning and Assessment Act 1979.

Braille – A system of touch reading for the blind, which employs raised dots that are evenly arranged in quadrangular letter spaces or cells.

Building Code of Australia – Document published on behalf of the Australian Building Codes Board. The BCA is a uniform set of technical provisions for the design and construction of buildings and other structures throughout Australia and is adopted in NSW under the provisions of the Environmental Planning & Assessment Act & Regulation.

Hearing Augmentation – The communication of information for people who are deaf or hearing impaired by using a combination of audio, visual, and tactile means

Luminance Contrast - The light reflected from one surface or component, compared to the light reflected from another surface or component.

National Construction Code Series (NCC) – The NCC was introduced 01 May 2011 by the Council of Australian Governments (COAG). The BCA Volume One (Class 2 to 9 Buildings) is now referenced as the National Construction Code Series Volume One — BCA.

People with Ambulant Disabilities - People who have a mobility disability but are able to walk.

Performance Requirements of the BCA - A Building Solution will comply with the BCA if it satisfies the Performance Requirements. A Performance requirement states the level of performance that a Building Solution must meet.

Compliance with the Performance Requirements can only be achieved by-

- (a) complying with the Deemed-to-Satisfy Provisions; or
- (b) formulating a Performance Solution which-
 - (i) complies with the Performance Requirements; or
 - (ii) is shown to be at least equivalent to the Deemed-to-Satisfy Provisions; or
- (c) a combination of (a) and (b).

Dedicated Parking Space – a parking space set aside exclusively for the parking of a single vehicle for a person with a disability.

Deemed-to-Satisfy (DtS) Provisions of the BCA – Means the prescriptive provisions of the BCA which are deemed to satisfy the performance requirements.

Effective Height – The vertical distance between the floor of the lowest storey included in the calculation of rise in storeys and the floor of the topmost storey (excluding the topmost storey if it contains only heating, ventilating, lift, or other equipment, water tanks or similar service units).

Exit – Any, or any combination of the following if they provide egress to a road or open space:

- An internal or external stairway.
- A ramp.
- A fire-isolated passageway.
- A doorway opening to a road or open space.

National Construction Code Series (NCC) – The NCC was introduced 1 May 2011 by the Council of Australian Governments (COAG). The BCA Volume One (Class 2 to 9 Buildings) is now referenced as the National Construction Code Series Volume One — BCA.

Performance-based Design Brief – Means the process and the associated report that defines the scope of work for the performance-based analysis, the technical basis for analysis, and the criteria for acceptance of any relevant Performance Solution as agreed by stakeholders.

Performance Requirements of the BCA – A Building Solution will comply with the BCA if it satisfies the Performance Requirements. A Performance requirement states the level of performance that a Building Solution must meet.

Compliance with the Performance Requirements can only be achieved by-

- a. complying with the Deemed-to-Satisfy Provisions; or

- b. formulating a Performance Solution which-
 - i. complies with the Performance Requirements; or
 - ii. is shown to be at least equivalent to the Deemed-to-Satisfy Provisions; or
- c. a combination of (a) and (b).

Performance Solution – Means a method of complying with the performance requirements other than by a Deemed-To-Satisfy Solution.

Sensory Impairment - Any significant loss of hearing or vision.

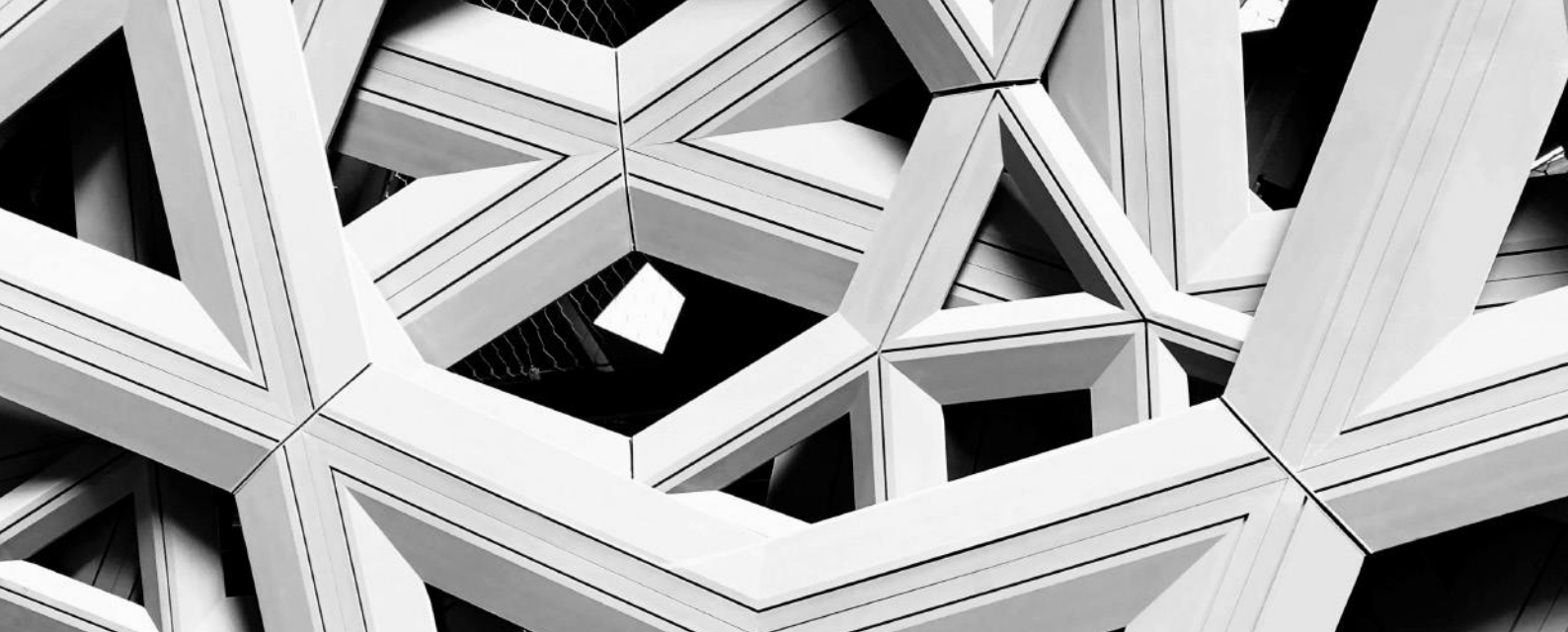
Shared Area (for carparking) – An area adjacent to a dedicated space provided for access or egress to or from a parked vehicle and which may be shared with any other purpose that does not involve other than transitory obstruction of the area, e.g. a walkway, a vehicular aisle, dual use with another adjacent dedicated space.

Slip Resistant – A property of a surface having a frictional force-opposing movement of an object across a surface.

Sole Occupancy Unit – means a room or other part of a building for occupation by one or joint owner, lessee, tenant, or other occupier to the exclusion of any other owner, lessee, tenant, or other occupier and can include a dwelling and/or office suite

Tactile Ground Surface Indicators (TGSIs) - Truncated cones and/or bars installed on the ground or floor surface, designed to provide pedestrians who are blind or vision-impaired with warning or directional orientation information.

Tactile Sign - Signage incorporating raised text, and/or symbols and Braille to enable touch reading by people who are blind or who are vision impaired.



2.0 Project Overview

2.1 Proposed Development

The subject development consists of six (6) new Palliative Care beds for the Hunter New England Local Health District (HNELHD) within Level 00 of the Existing Acute Services Building (ASB) at Tamworth.

2.2 Overview of Access Requirements

The proposed redevelopment consists of:

+ Requirements for Accessibility	
Class 3	<ul style="list-style-type: none">+ For a Class 3 building, access requirements are as follows:<ul style="list-style-type: none">– Common areas:<ul style="list-style-type: none">• From a pedestrian entrance required to be accessible to at least 1 floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level.• To and within not less than 1 of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, swimming pool, common laundry, games room, TV room, individual shop, dining room, public viewing area, ticket purchasing service, lunch room, lounge room, or the like.• Where a ramp complying with AS 1428.1 or a passenger lift is installed—<ul style="list-style-type: none">(A) to the entrance doorway of each sole-occupancy unit; and(B) to and within rooms or spaces for use in common by the residents.• The requirements of (iii) only apply where the space referred to in (A) and (B) are located on the levels served by the lift or ramp.– Sole-occupancy units — in accordance with Table D4D2b.
Class 9a	<ul style="list-style-type: none">+ For Class 9a buildings, access must be provided to and within all areas normally used by the occupants.

2.3 Accessibility Exemptions

The use of certain parts of the building are not required to be accessible in the following instances:

- + An area where access would be inappropriate because of the particular purpose for which the area is used.
- + An area that would pose a health or safety risk for people with a disability.
- + Any path of travel providing access only to an area exempted by the above two items

Some examples of the above include:

- + Cleaner's rooms used by cleaning staff only
- + Plantrooms and specialty equipment rooms (e.g. comms, UPS, distribution boards etc.)
- + Loading Docks
- + Clean and dirty utility rooms

2.4 Performance Solutions

Where there are any departures from achieving compliance with the BCA, there is an opportunity to address the compliance issue by the development of a Performance Solution.

This report currently identifies opportunity for Performance Solutions which are to be developed during the Crown Certificate Phase.

3.0 Accessibility Assessment

We note the following DDA compliance matters with relation to proposed building works are capable of complying with the Part D4 of the BCA. Please note that this is not a full list of BCA clauses, they are the key requirements that relate to the proposed work and the below should be read in conjunction with the BCA.

+ Legend	
Complies	The referenced plans show compliance with this clause
Compliance Readily Achievable	The referenced plans do not show sufficient information to establish compliance with this clause. Design certification, should be submitted with the application for the BCA Crown Certificate
Further Information Required	The referenced plans do not show sufficient information to establish compliance with this clause. Further details, should be submitted with the application for the BCA Crown Certificate
Performance Solution	The referenced plans show compliance with this clause. The referenced plans do not comply with this clause and a Performance Solution is required/proposed to demonstrate compliance with the Performance Requirements
Does Not Comply	The referenced plans show compliance with this clause. The proposal does not comply with this clause and redesign is required.
Note	Provisions contained within this BCA clause are provided for guidance or are to be read in conjunction with other BCA clauses.

3.1 Parts D4 – Access for people with a disability

D4D2	<p>General Building Access Requirements: In a 9a building, access must be provided to and within all areas normally used by the occupants throughout the refurbishment. This includes too and within all beds, throughout all patient care areas, staff areas and communal areas.</p> <p>Comment: Access has been provided to all relevant areas of the proposed refurbishment works on level 00 within the existing Tamworth Hospital.</p>
D4D3	<p>Access to Buildings: An accessway must be provided to a building required to be accessible from:</p> <ul style="list-style-type: none"> + The main points of a pedestrian entry at the allotment boundary. + Another accessible building connected by a pedestrian link. + Any required accessible car parking space on the allotment. <p>An accessway must be provided through the principal pedestrian entrance and through not less than 50% of all pedestrian entrances.</p>

Further Information Required: In accordance with the Access to Premises Standards, access will be required to be provided from the Main Entrance of the building to the refurbishment area on level 00. In this instance, BM+G will conduct an on-site inspection prior to Crown Certification Stage. Also, it is assumed an accessible pedestrian link has been provided from adjoining accessible buildings on the allotment and from existing accessible car parking spaces, this will be assessed prior to Crown Certification Stage via on-site inspection.

D4D4

Parts of Buildings to be Accessible:

- + Every ramp and stairway (except for ramps or stairways exempt from compliance under D4D5) must comply with:
- + For a ramp, Clause 10 of AS 1428.1 – 2009.
- + For a stairway, Clause 11 of AS 1428.1 – 2009.
- + For a fire-isolated stairway, Clause 11.1(f) and (g) of AS 1428.1 – 2009.

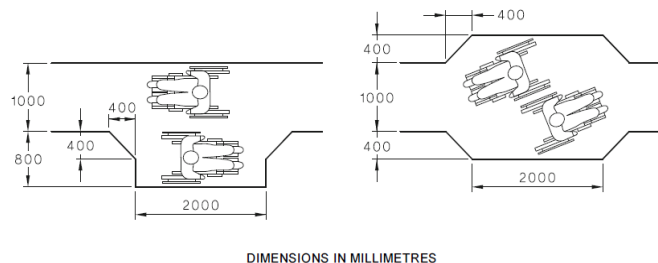
General Note

AS1428.1 Cl. 6.3 - Widths of paths

- + Unless otherwise specified (such as at doors, curved ramps and similar), the minimum unobstructed width of a continuous accessible path of travel shall be 1000 mm and the following shall not intrude into the minimum unobstructed width of a continuous accessible path of travel:
- + Fixtures and fittings such as lights, awnings, windows that, when open, intrude into the circulation space, telephones, skirtings and similar objects.
- + Essential fixtures and fittings such as fire hose reels, fire extinguishers and switchboards.
- + Door handles less than 900 mm above the finished floor level.

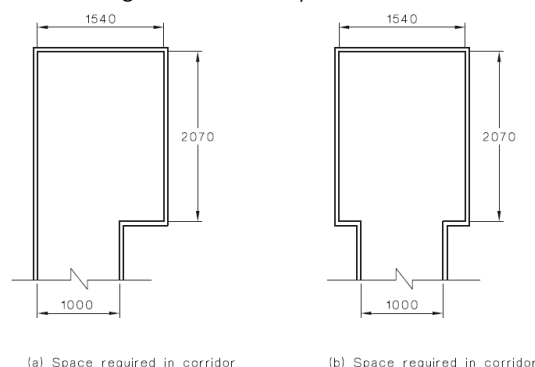
AS1428.1 Cl. 6.4 - Passing Space

- + Accessways must have passing spaces complying with AS 1428.1 at maximum 20m intervals on those parts of an accessway where a direct line of sight is not available.



AS1428.1 Cl. 6.5 - Turning Space

- + Turning spaces must comply with AS1428.1 and are located within 2m of the end of accessways where it is not possible to continue travelling along the accessway, and at maximum 20m intervals along the accessway.



AS1428.1 Cl. 7 Floor Transitions:

Tolerances for Abutment of Surfaces:

- + Transitions between floor finishes will need to comply with Clause 7.2 of AS1428.1-2009.

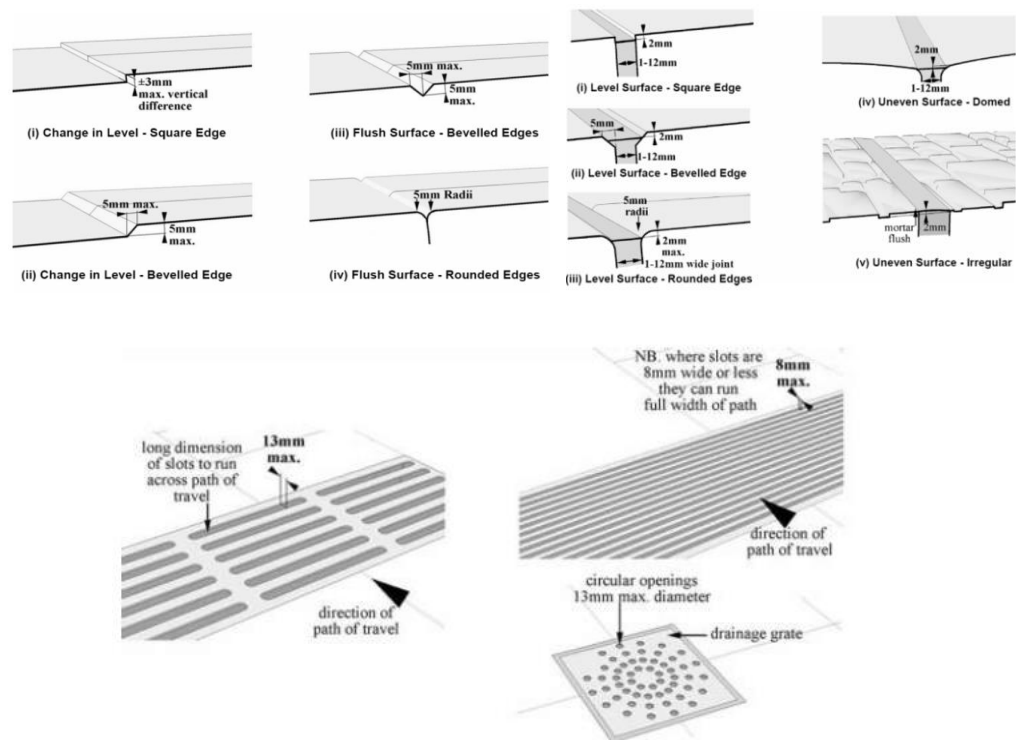
Recessed / Soft Floor Coverings:

- + Pile height or pile thickness shall not exceed 11mm and the carpet backing thickness shall not exceed 4mm.
- + Exposed edges of floor coverings are fastened to the floor with a trim along any exposed edges.
- + At leading edges, carpet or other soft materials shall have a vertical face no higher than 3mm or a rounded bevelled edge no higher than 5mm. Up to 10mm is permitted at a 1:8 gradient.
- + Recessed matting must be no more than a 3mm vertical, or 5mm rounded, proud of the adjacent floor surface. This also applies when the matting is depressed below surface level.

Grates:

- + Grates shall comply with the following:
- + Circular openings shall be not greater than 13 mm in diameter.
- + Slotted openings shall be not greater than 13 mm wide and be oriented so that the long dimension is transverse to the dominant direction of travel.

NOTE: Where slotted openings are less than 8 mm, the length of the slots may continue across the width of paths of travel.



Tolerances for Abutment of Surfaces & Grated Surfaces:

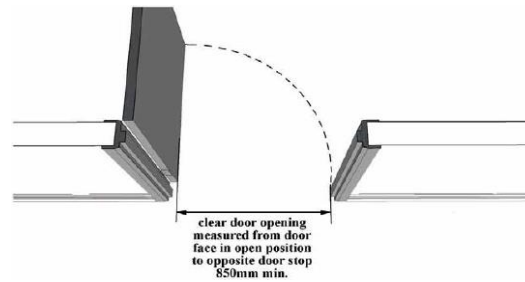
AS1428.1 Cl. 13.1 - Luminance Contrast

All doorways shall have a minimum luminance contrast of 30% provided between—

- + door leaf and door jamb;
- + door leaf and adjacent wall;
- + architrave and wall;
- + door leaf and architrave; or
- + door jamb and adjacent wall.
- + The minimum width of the area of luminance contrast shall be 50 mm.

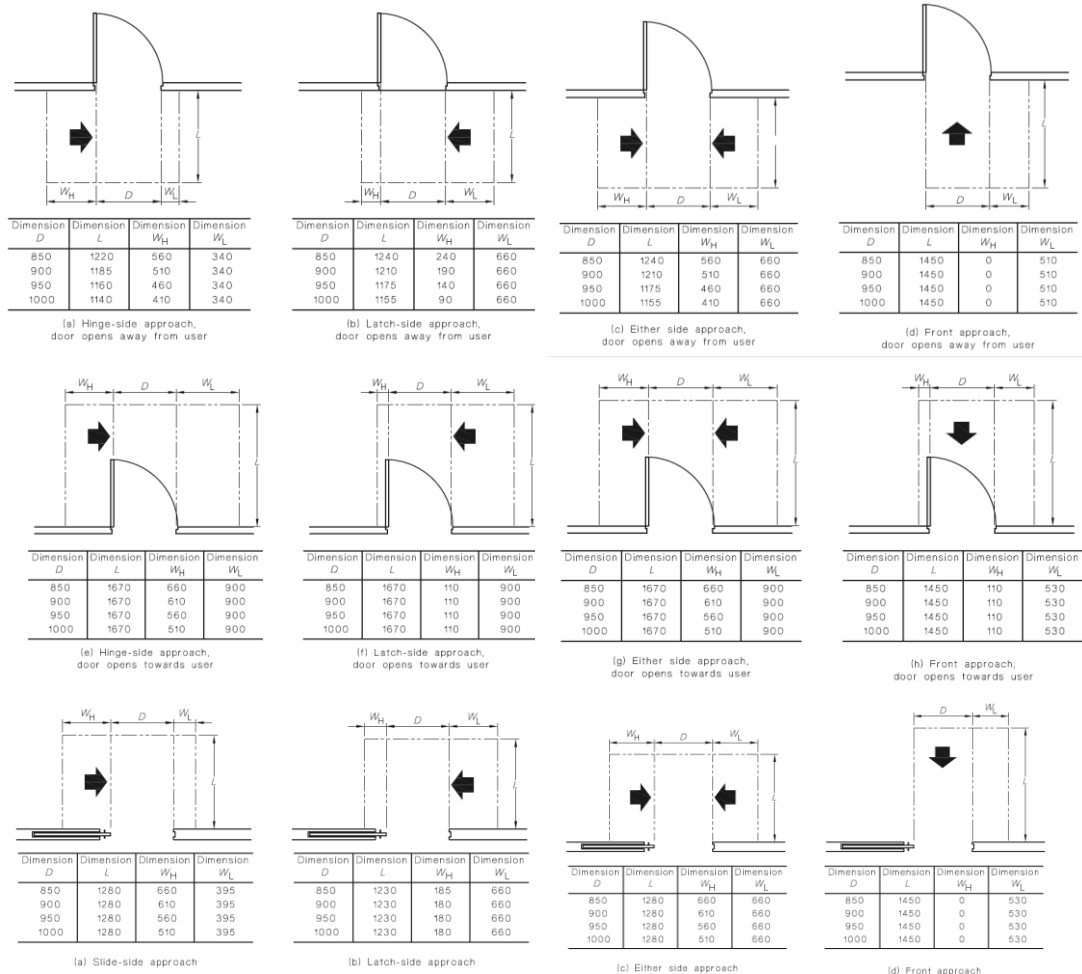
AS1428.1 Cl. 13.2 / 13.3 - Doorways

- + The minimum width of an accessible doorway must have a *clear opening* width of not less than 850mm in accordance with AS1428.1. Where double doors are provided, at least one leaf must have a clear unobstructed width of 850mm.



Clear Unobstructed Width of Doorway

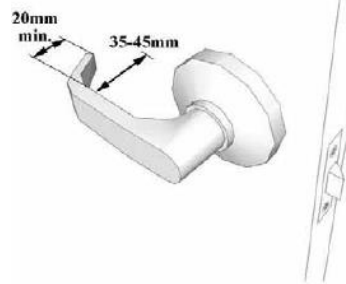
- + Circulation space is required to all doorways throughout the building that are required to be accessible in accordance with Section 13 of AS 1428.1 – 2009 (see diagrams below). Circulation space is not required to be provided to rooms where access for a person with a disability is not required i.e. dirty utility / clean utility rooms, plant rooms, comms rooms etc. See below required doorway circulation space for swinging and sliding doors.



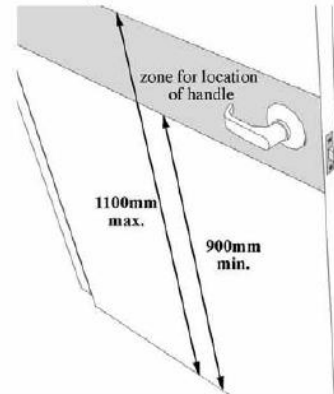
AS1428.1 Cl. 13.4 Successive Doorways in Passages - The distance between doorways in vestibules, air locks and other similarly enclosed spaces shall be not less than 1,450 mm. Where the doors encroach into space, the distance shall be not less than 1,450 mm plus the door leaf width.

AS1428.1 Cl. 13.5 Doorway Controls - Door handles and hardware to rooms required to be accessible must comply with the requirements of Clause 13.5 of AS 1428.1 – 2009.

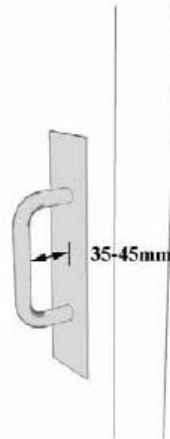
(A) Example of Lever Handle Design



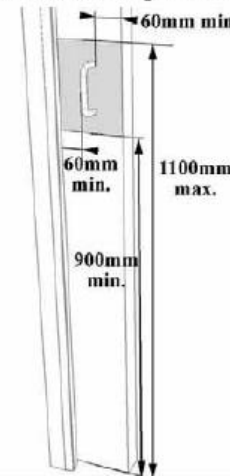
(B) Lever Handle Location



(C) Example of D Handle Design for Sliding Door

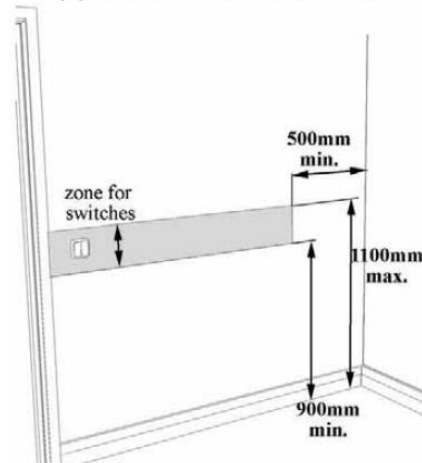


(D) D Handle for Sliding Door Location



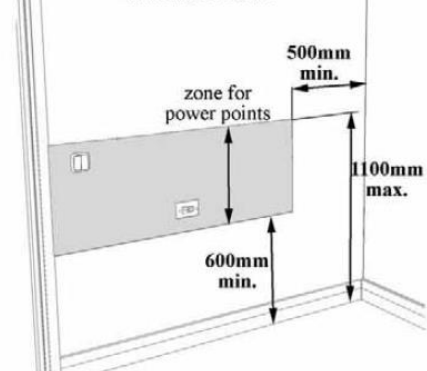
AS1428.1 Cl. 14.1 Switches & GPOs - All switches and controls shall be positioned at a height of 900-1000mm above the FFL and be no closer than 500mm to any corner.

(A) Zone for Location of Switches



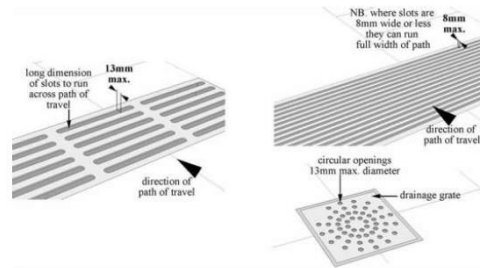
(B) Zone for General Purpose Outlets in Sole Occupancy Units and Sanitary Facilities

Switches must be rocker or toggle action and have a minimum diameter of 30mm



AS1428.1 Cl. 14.2 Switches – Accessible SOU's and accessible WC's are required to be provided with 30mm x 30mm toggle switches. Where push button switches are located associated with the security system of the entry doors, then the push button will need to be the mushroom type.

Further Information Required: Regarding the door track for any sliding doors, gaps within the track and any other grates are not to exceed 8mm wide openings. Also, provide detail to verify the minimum luminance contrast of 30% for all accessible doors which is to be provided with one of the requirements a) – e) nominated clause 13.1 of AS 1428.1-2009 for instance contrast provided between door leaf and door jamb.

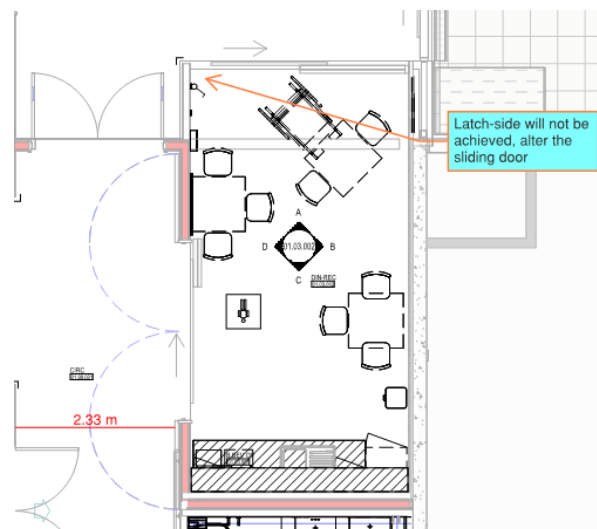


Further Information Required: Indicate the location of the sliding door push buttons in accordance with clause 13.5.3 of AS 1428.1, provide additional detail at Crown Certificate Stage ensure it is 500mm clear from any internal corner. Also, regarding nurse call buttons for patient users it is recommended to be proposed at height between 600-1100mm above FFL.

Further Information Required: The overnight bedroom and ensuite 01.03.006, switches and GPO's are to be provided in accordance with clause 14.2 of AS 1428.1.

Does Not Comply: Latch-side clearance and/or doorway circulation are impeded at the following locations:

- + From the inside of the dining recreation room the sliding door when in the closed position does not achieve a minimum 530mm latch-side clearance it is currently obstructed from the wall. Also, verification is required if the door as accessed via corridor 01.99.001 is a sliding provided or swing door.



D4D5

Exemptions: The use of certain parts of the building are not required to be accessible in the following instances:

- + An area where access would be inappropriate because of the particular purpose for which the area is used.
- + An area that would pose a health or safety risk for people with a disability.
- + Any path of travel providing access only to an area exempted by the above two items

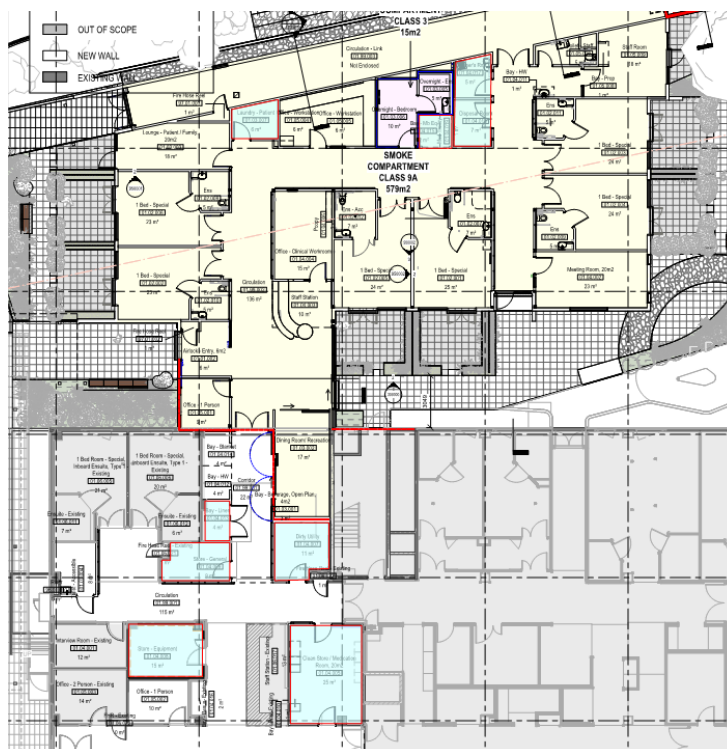
Some examples of the above include:

- + Cleaner's rooms used by cleaning staff only i.e., clean and dirty utility rooms
- + Plantrooms and specialty equipment rooms (e.g. comms, UPS, distribution boards etc.)
- + Equipment stores

Further Information Required: The following areas as nominated in blue for the image below are to be confirmed by LHD as an exempt room at the Crown Certificate Stage:

- + Laundry pantry room 01.03.007
- + Cleaner room 01.04.017
- + Dispenser room 01.04.018

- + B Meq room 01.04.015
- + B Linen room 01.04.013
- + Store GN room 01.04.009
- + Dirty utility room 01.04.007
- + Store equipment room 01.04.008
- + Clinical medical room 01.04.005



D4D7

Signage: In a building required to be accessible, braille and tactile signage must be provided to all:

- + Required accessible sanitary facilities
- + Spaces with hearing augmentation
- + Ambulant sanitary facilities
- + Non-accessible pedestrian entrances
- + Each door required to be provided with an exit sign
- + Braille and tactile signage are to comply with sub-clause (a) and Specification 15.

General Note

Signage Specification: -

The signage is to be: -

- (a) Located between 1200-1600mm above FFL
- (b) Signs with single lines of characters are to have the line of the tactile characters between 1250mm-1350mm above FFL
- (c) Signage tactile characters must be raised or embossed to a height between 1mm-1.5mm
- (d) Upper case letter to be between 20mm-55mm
- (e) Signage is to be contrasting & is to comply with BCA Specification 15.

AS1428.1 Cl.8.1 - Forms of Signage

The below signs are examples of required sanitary facility signage.

The signs shall be positioned so that the raised braille is between 1200-1600mm above FFL.



Signage Locations

The Braille & tactile egress signage is to be located adjacent or on (see above) each door that:-

- (a) Provides direct egress into a fire isolated stairway
- (b) Provides direct discharge from the storey into a passageway or lobby (airlock) associated with the fire isolated stairway
- (c) Provide direct discharge from a fire isolated stairway to open space (discharge door)
- (d) Forms part of a horizontal exit (-/120/30 fire doors in the fire compartment walls)

The below signage is an *example* of what is required –



Comment: Compliance readily achievable. Signage details to be provided at the Crown Certificate Stage.

D4D8

Hearing Augmentation: A hearing augmentation system must be provided where an inbuilt amplification system, other than one used only for emergency warning is installed in a meeting room, or a reception area where the public is screened from the service provider.

A built-in amplification system is a system where either speakers are installed within a room or a wall mounted monitor has built in speakers. Such installations are typically found in meeting rooms, training rooms and waiting areas.

Where the wall mounted screen is not capable of broadcasting sound and any audio is provided by speakers attached to a laptop or that are portable, the hearing augmentation provisions will not need to be applied.

If a hearing augmentation system is:

- + An induction loop, it must be provided to not less than 80% of the floor area of the room or space served by the inbuilt amplification system; or
- + A system requiring the use of receivers or the like, it must be available to not less than 95% of the floor area of the room or space served by the inbuilt amplification system, and the number of receivers must not be less than -
 - If the room or space accommodates up to 500 persons, 1 receiver for every 25 persons or part thereof, or 2 receivers, whichever is the greater; and
 - If the room or space accommodates more than 500 persons but not more than 1000 persons, 20 receivers plus 1 receiver for every 33 persons or part thereof in excess of 500 persons.

General Note

The below symbol shall be provided on a sign in ultramarine, blue in accordance with clause 5.1 of AS 1428.5-2010



Further Information Required: Provide confirmation of any inbuilt amplification system to be proposed for the subject development works this may include within meeting room 20 "01.04.002".

D4D12

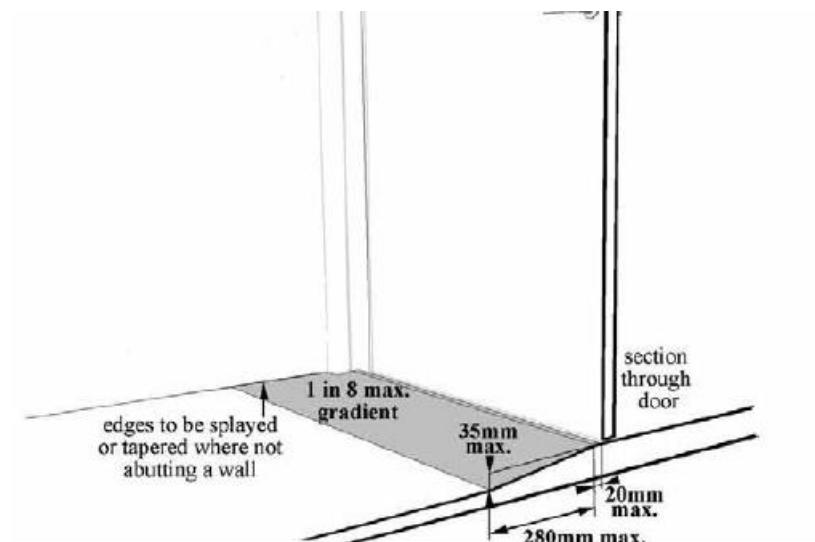
Ramps: Ramps may be used as part of an accessway where there is a change of level and must comply with the requirements set out in AS1428.1

AS1428.1 Cl. 10.3 Ramps: Ramps to comply with the following:

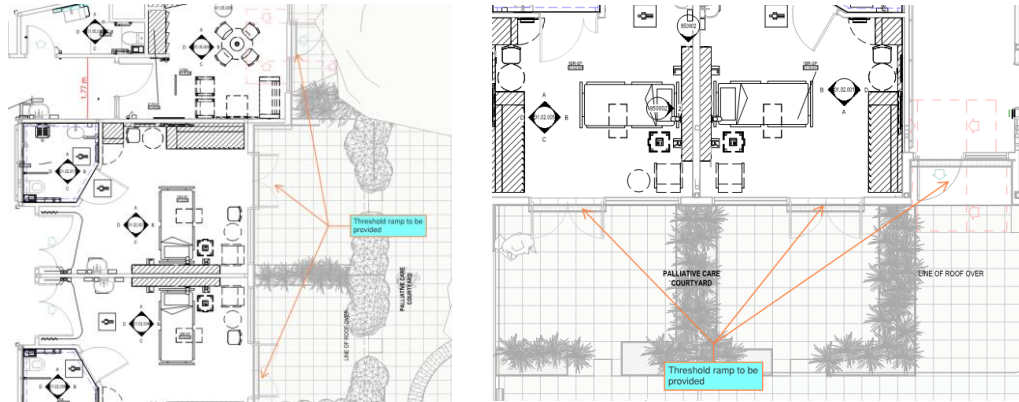
- + Maximum gradient of a ramp exceeding 1900mm shall be 1 in 14.
- + The gradient of a ramp shall be constant throughout its length.
- + Ramps shall be provided with landings:
 - For ramp gradients of 1 in 14, at intervals not greater than 9m.
 - For ramp gradients steeper than 1 in 20, at intervals not greater than 15m.
 - For ramp gradients between 1 in 14 and steeper than 1 in 20, at interpolated intervals.
- + Handrails must be provided on either side complying with Clause 12.
- + TGSIs shall be installed in accordance with AS 1428.4.1.
- + Ramps shall be set-back at internal corridors so that handrail extensions do not protrude into paths of travel.
- + Ramps and intermediate landings shall have kerbs or kerb rails on either side.

AS1428.1 Cl. 10.5: Threshold ramps at doorways on a continuous path of travel shall have—

- + a maximum rise of 35 mm;
- + a maximum length of 280 mm;
- + a maximum gradient of 1:8; and
- + be located within 20 mm of the door leaf which it serves.



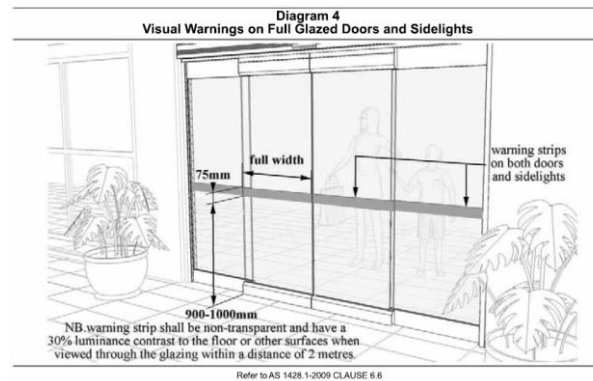
Further Information Required / Performance Solution: If there are any proposed steps to be located within a door threshold this may include the Palliative Care courtyard doors, it will be required to be provided with a door threshold ramp and/or to be addressed as an **access performance solution**. Any threshold ramp will be required to be designed in accordance with Clause 10.5 of AS 1428.1.



D4D13

Glazing on an accessway: Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights, including any glazing capable of being mistaken for a doorway or opening, shall be clearly marked for their full width with a solid and non-transparent contrasting line. The contrasting line shall be not less than 75 mm wide and shall extend across the full width of the glazing panel. The lower edge of the contrasting line shall be located between 900 mm and 1000 mm above the plane of the finished floor level.

Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 m of the glazing on the opposite side.



Comment: Compliance readily achievable. For any full height glazed elements which can be mistaken for a doorway or opening is to be provided with a glazing indicator in accordance with the clause 6.6 of AS 1428.1 as nominated above. From the image below, verification is required to determine if 30% luminance contrast is achieved.



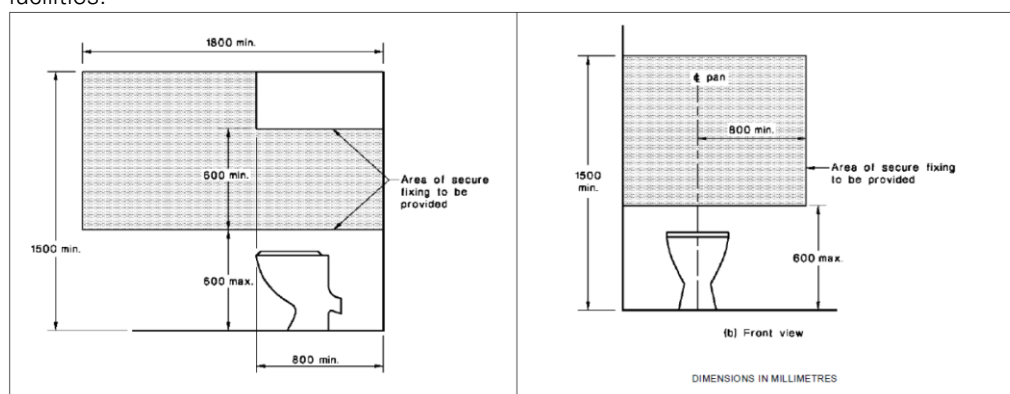
F4D5

Accessible Sanitary Facilities: Accessible unisex sanitary compartments must be provided, in accordance with F4D6 and unisex showers must be provided in accordance with Table F4D7, in buildings or parts that are required to be accessible.

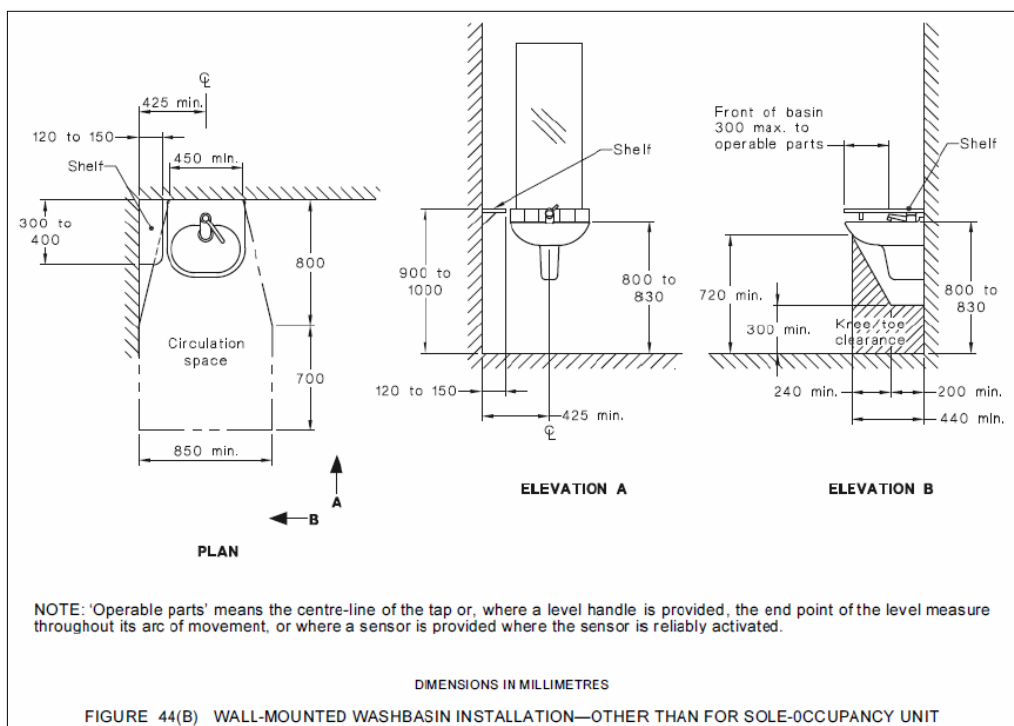
General Note

Unisex Accessible WC's

- + Tap sets will need to be specified with lever or capstan handles in the accessible sanitary facilities.
- + Provision of wall strengthening for grab-rails will need to be provided adjacent to sanitary facilities.



- + The location and installation of washbasins must comply with the requirements of AS 1428.1-2009.

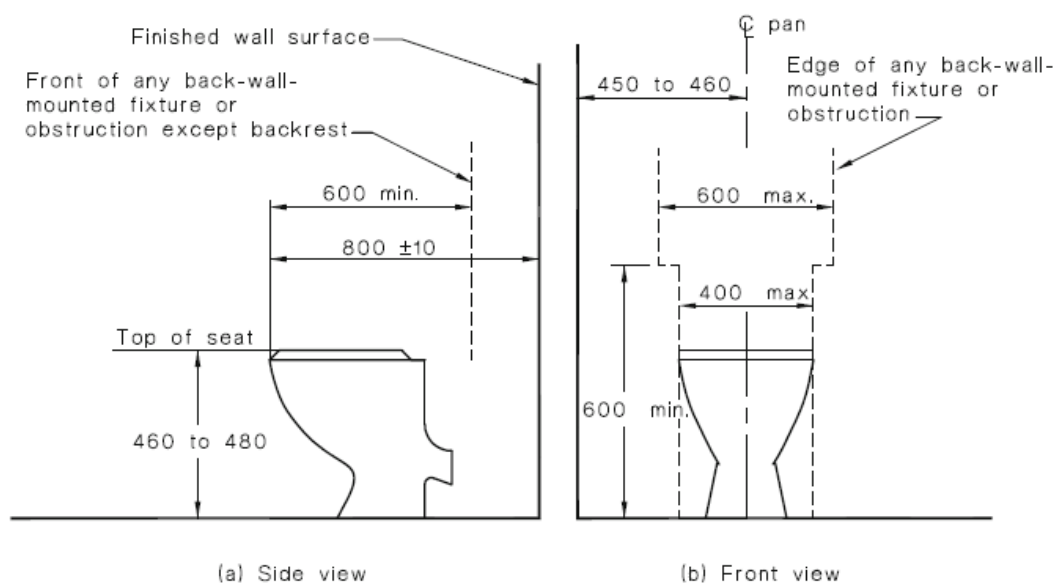


+ Checklist for Accessible WCs

+ Entry Door	The detailing of the circulation at doorways shall comply with the provisions of Clause 13 of AS1428.1:2009
+ Entry Door	The luminance contrast provisions at the doorway shall comply with the provisions of Clause 13.1 of AS1428.1:2009
+ Force Required to Operate Door	The force required to operate the door if fitted with a door closer is a maximum of 20N. It is assumed that auto-doors will not be installed
+ Door Hardware	The position of door hardware is to be located between 900-1100mm AFFL.
+ WC Pan Circulation	1900×2300mm
+ Hand Basin Circulation	850×1500mm, the basin may encroach a maximum of 100 mm into the circulation space of the adjacent WC pan circulation
+ WC Pan Offset From Side Wall	450/460 mm
+ WC Pan Offset From Rear Wall	800±10 mm
+ WC Pan Backrest	To code requirements
+ WC Pan Toilet Seat	The toilet seat will need to be the full round type, securely fixed in position, be rated 250 KG and have a minimum limits contrast of 30% with the background pan, wall or floor against which it is viewed.
+ WC Pan Grab Rails	Grab rail to be mounted 800 mm above finish floor level, length of grab rail to be 1050 mm from rear wall, install 300mm grab rail to left-hand side of the WC pan. It is assumed that the walls to which the grab rails are fixed will have the required 1100N force rating wall reinforcement required by the standard
+ Hand Basin Mounting Height	Top of hand basin to be 800/830 mm above finish floor level

+ Hand Basin Clearances	The clearances around and under the hand basin need to comply with the provisions of clause 15.3 of AES 1428.1:2009. Specific attention is drawn to the plumbing installation where the required clearances under the hand basin necessitate special consideration of the bottle trap associated with the hand basin
+ Hand Basin Selection	The detailing of the hand basin requires the installation of a shelf unit. It may be possible to specify a hand basin that incorporates a shelf section thereby eliminating an additional component to be installed in the USAT
+ Hand Basin Mirror	The mirror is to be flush mounted on the wall above the sink the bottom of the mirror is to be no more than 900 mm above the finish floor level and the top of the mirror is to be a minimum of 1850 mm above the finish floor level
+ Hand Basin Tap	It is recommended that a lever hand basin tap be installed in lieu of the capstan type
+ Toilet Roll Holder	The position of the toilet roll holder is to be in accordance with code requirements
+ Coat Hooks	Coat hooks are to be installed 1200 to 1350 mm above finish floor level and not closer than 500 mm from an internal corner. The coat hook can be installed on the wall or on the back of the door
+ Soap Dispensers/Hand Towel	These items are to be able to be operated by one hand and shall be installed so that the tap or dispenser is not less than 900 and not more than 1100 mm above the finish floor level.
+ Braille Tactile Signage	The detailing of the Braille Tactile Signage will need to comply with the provision of NCC Clause D4D7 and NCC Specification 15. The location of the Braille Tactile sign is to be mounted on the latch-side wall. The sign is to indicate the handing of the grabrails to the WC Pan. The following is an example of the type of information to be provided in the Braille Tactile Sign.

Clearances around the water closet are to be in accordance with the figure below:



Basins are permitted to encroach within the circulation space of doorways as detailed within the following Figure:

Zone for position of toilet paper dispenser outlet

700 max.

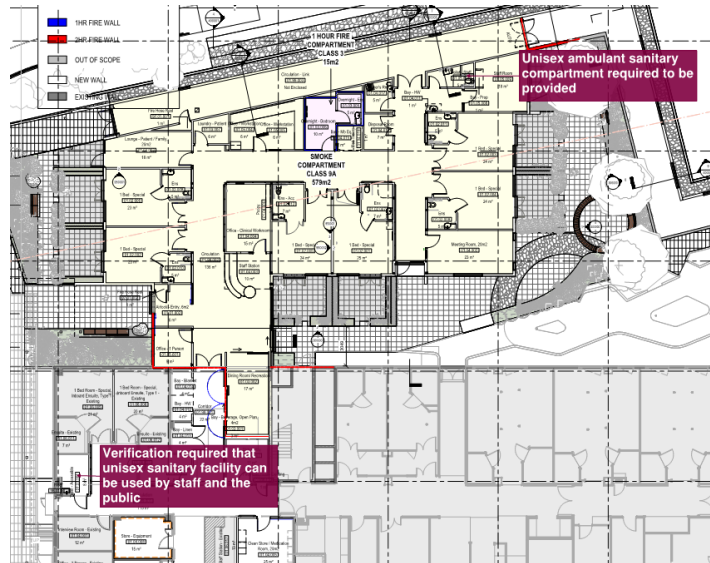
300 max.

Top of seat

460 to 480

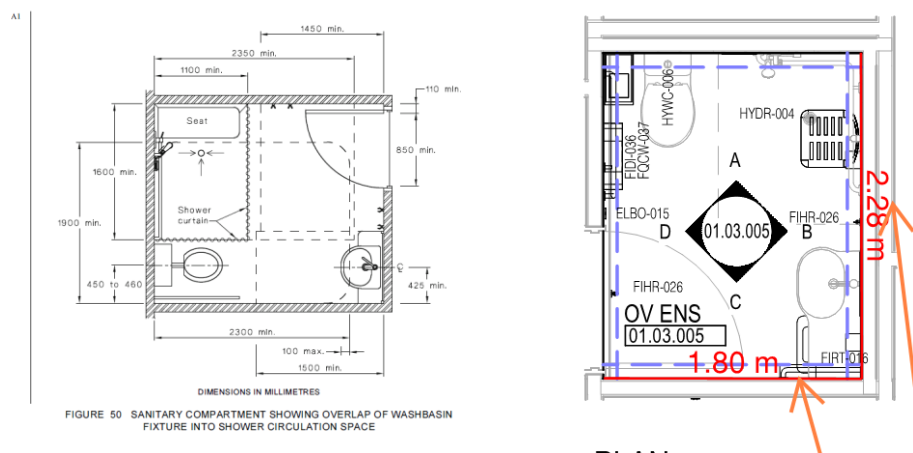
- + As a vanity top at a height of 800 mm to 830 mm and a minimum width of 120 mm and a depth of 300 mm to 400 mm without encroaching into any circulation space.
- + As a separate fixture –
 - ▲ Within any circulation space at a height of 900 mm to 1000mm with a width of 120 mm to 150 mm and length of 300 mm to 400 mm; and
 - ▲ External to all circulation spaces at a height of 790 mm to 1000 mm with a minimum width of 120 mm and a minimum length of 400 mm.
 - ▲ Where provided, Soap dispensers, towel dispensers, hand dryers and similar fittings are required to be operable by one hand and are to be installed with the height of their operative component or outlet not less than 900 mm and not more than 1100 mm above FFL and no closer than 500 mm from an internal corner.

- + Verification is required as to whether the accessible sanitary facility proposed within the existing Palliative Care Unit will be a communal unisex accessible sanitary facility that could be used by the public and staff.
- + The unisex staff sanitary facility proposed within the new Palliative Care Unit will be required to be a unisex ambulant sanitary compartment. The provision of unisex ambulant sanitary compartments in lieu of separate facilities for males and females throughout the building will be required to be assessed as part of an **access performance solution** to be prepared by an Access Consultant.

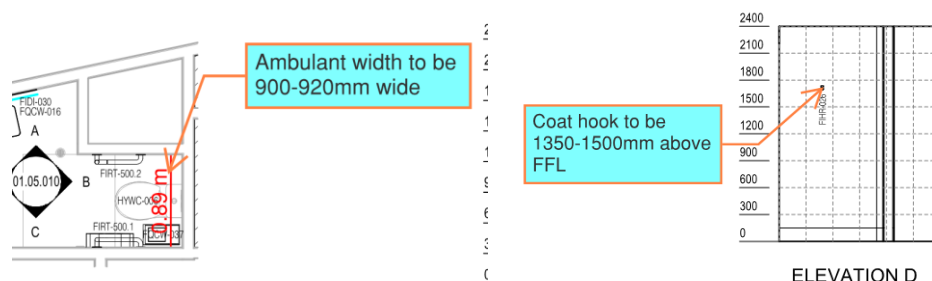


Does Not Comply: The following non-compliances are noted with regards to the sanitary facilities provided:

- + The overnight ensuite is required to be designed as an accessible WC, plan amendments will be required where the dimension of this room is to be reconfigured to achieve a minimum width of 1900mm and depth of 2300mm in accordance with figure 50 of AS 1428.1-2009.



- + The staff ambulant WC 01.05.010, the width at the toilet pan is required to achieve 900-920mm, it was measured less than 900mm wide. Also, the coat hook is required to be 1350-1500mm above FFL.



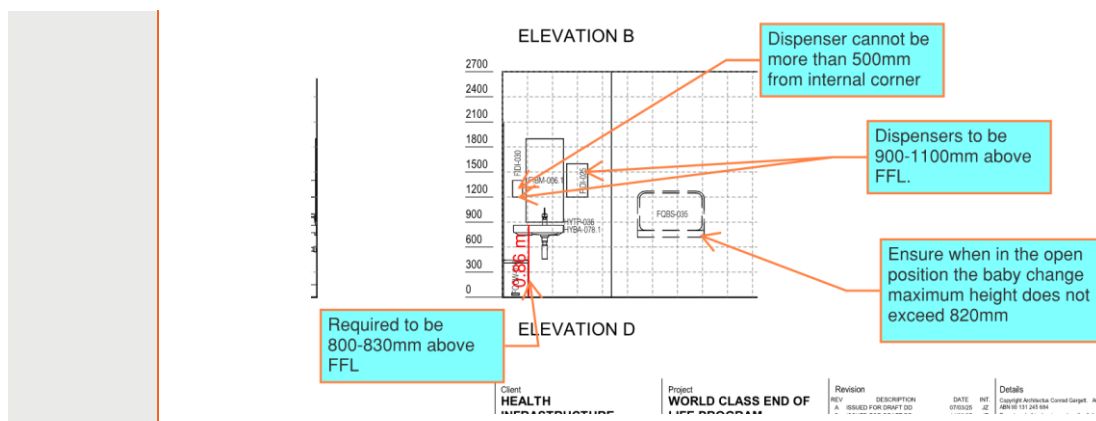
- + The ensuite accessible WC 01.02.012, the washbasin encroaches within the clear circulation space of the doorway a minimum 300mm distance is required.

The washbasin encroaches within the circulation space of the doorway, require 300mm clearance

-
- The image contains two elevation drawings, ELEVATION C and ELEVATION B, showing a wall and door assembly with various dimensions and callouts.
- ELEVATION C:** This drawing shows a wall section with a door. The vertical axis is labeled from 0 to 2400 in increments of 300. A callout box on the left states: "Can't be more than 500mm from internal corner". A dimension line indicates a height of 0.90 m for the door. Another dimension line indicates a height of 0.40 m for the wall above the door. A callout box on the right states: "Dispenser to be 900-1100mm high".
- ELEVATION B:** This drawing shows a wall section with a door. The vertical axis is labeled from 0 to 2400 in increments of 300. A callout box on the right states: "Dispenser to be 900-1100mm high". A dimension line indicates a height of 0.90 m for the door. Another dimension line indicates a height of 0.40 m for the wall above the door. A callout box on the left states: "Can't be more than 500mm from internal corner".

- Remove the bin, a minimum 300mm circulation is required for knee & toe circulation space

- + 29 / 37



3.2 Access to Premises Standard

The refurbishment areas consist of six (6) new Palliative Care beds for the Hunter New England Local Health District (HNELHD) within Level 00 of the Existing Acute Services Building (ASB) at Tamworth Hospital.

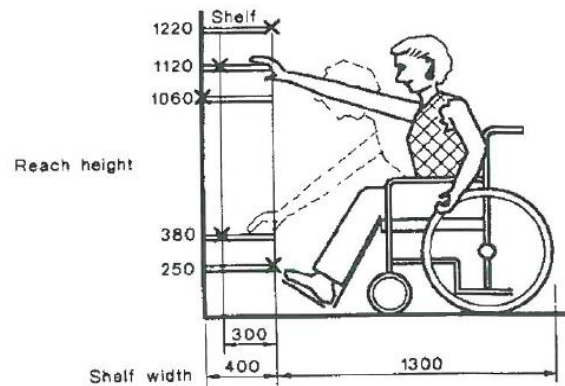
BCA Part D4	New and altered parts of the existing building will be required to comply with Part D4 of the BCA and AS 1428.1-2009 throughout.
Access to Premises Standard 2010	<p>The existing parts of the hospital will be assessed against the 'affected part' provisions of the Access to Premises Standard 2010 – Affected Part is an assessment of existing accessibility provisions from the point of principal entrance of the existing hospital to the location of the new works.</p> <p>This may require an upgrade of the affected part (which is the pathway/corridor from the main entry to the areas of refurbished works). BM+G will conduct an on-site inspection to assess these key compliance matters prior to Crown Certification Stage. A review of the accessways and existing accessible sanitary facilities will be reviewed for an assessment to be undertaken in accordance with the Premises Standard.</p> <p>Also, it is assumed an accessible pedestrian link has been provided from adjoining accessible buildings on the allotment and from existing accessible car parking spaces, this will be assessed prior to Crown Certification Stage via on-site inspection</p> <p>In the event that DtS compliance is not achieved with the requirements of Part D4 (above), a redesign will be required, or a Performance Solution will need to be documented by an appropriately qualified Access Consultant.</p>

3.3 AS 1428.2 – 1992 (Recommended for Compliance)

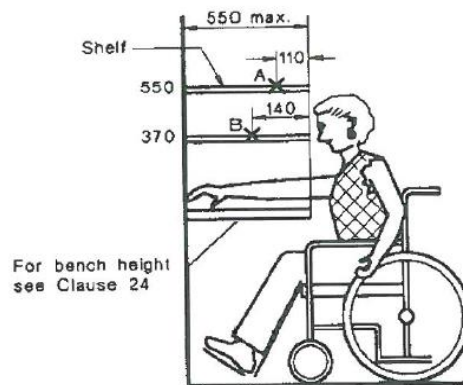
Compliance in accordance with AS 1428.2 – 2009, is not mandatory for this class of building however, it is recommended to be considered in the design where necessary.

AS 1428.2 – Clauses 22 & 24	Cl. 22.1/22.2 Reach Ranges - For this Class of building AS1428.2-1992 is not mandatory. Notwithstanding, it is recommended that this standard be used as a guide for functionality when specifying joinery/benches/fixtures within the accessible SOU:
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- Forward reach ranges recommended for occupants bound by a wheelchair are identified under Figure 20 under AS1428.2-1992; note that not areas must be accessible within this reach zone however it needs to be understood that a person within a wheel chair may only access a portion of the kitchen or other areas hence all essential areas must be within these designated reach zones:



(a) Forward reach limit

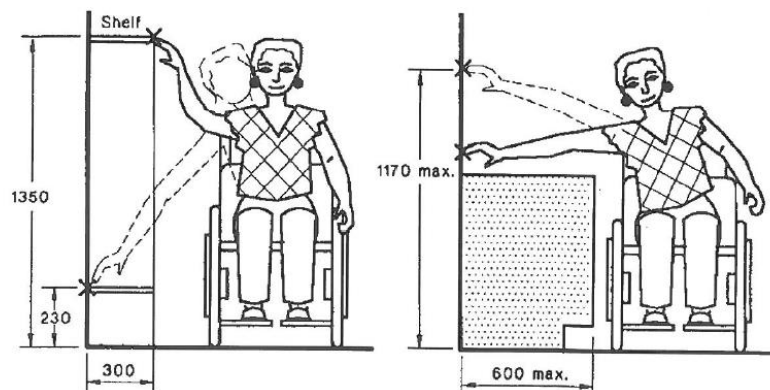


(b) Maximum forward reach over an obstruction

LEGEND:
X = points reached

DIMENSIONS IN MILLIMETRES

- Side reach ranges recommended for occupants bound by a wheelchair are identified under Figure 21 under AS1428.2-1992:



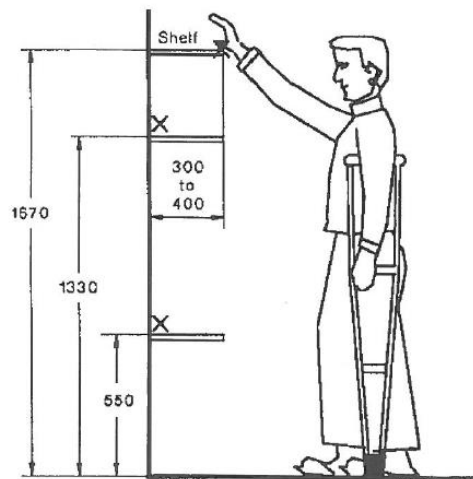
(a) High and low side reach limits

(b) Maximum side reach over obstruction

LEGEND:
X = points reached

DIMENSIONS IN MILLIMETRES

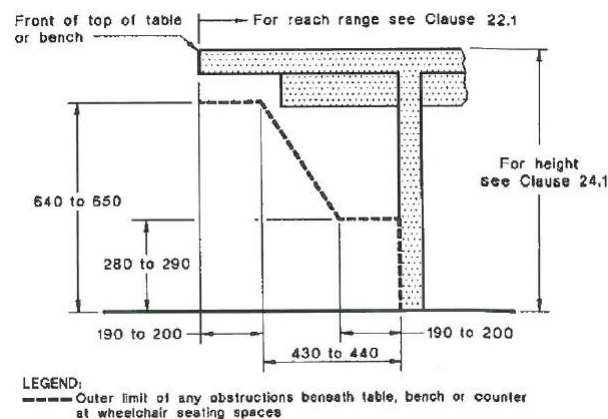
- Reach ranges recommended for occupants with an ambulant disability under Figure 22 under AS1428.2-1992:



LEGEND:
X = points reached

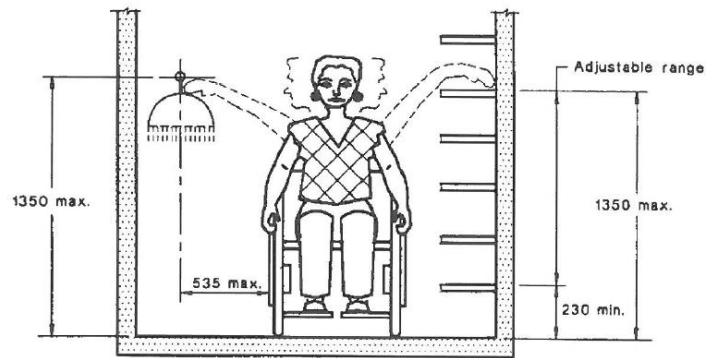
DIMENSIONS IN MILLIMETRES

- + **Cl. 23.4 Window Handles** – Window handles are to be operated by occupants in trafficable areas and shall comply with the general requirements for door hardware as covered by clause 13.5 of AS 1428.1 – 2009. It is recommended for the window within the overnight room to be operable.
- + **Cl. 24.1.1 Height of the Counter/Bench** – Height is to range between 830-870mm above FFL.
- + **Cl. 24.1.4 Counter/Bench Clearances** - For this Class of building AS1428.2-1992 is not mandatory. Notwithstanding, it is recommended that this standard be used as a guide for functionality when specifying joinery/benches/fixtures within the accessible SOU:
 - The knee and foot clearances recommended below the counter or bench are required to be provided in accordance with Figure 25 under AS1428.2-1992.



- + Note: No individual table, counter, workshop height and clearance beneath will suit all users with a disability hence the table, counter or bench with an adjustable height within the range of 700mm-850 from the FFL is preferred under AS1428.2-1992.
- + **Cl. 24.2 Storage Clearances** - For this Class of building AS1428.2-1992 is not mandatory. Notwithstanding, it is recommended that this standard be used as a guide for functionality when specifying storage within the accessible SOU:
 - The storage location clearances recommended in accordance with Figure 28 under AS1428.2-1992. Clothes hanging rods or hooks are to be located at a maximum height of 1,350mm from the FFL.
 - Sliding doors on cupboards are preferred; these allow manoeuvring space for wheelchair users and reduce risk of injury for visually impaired occupants.

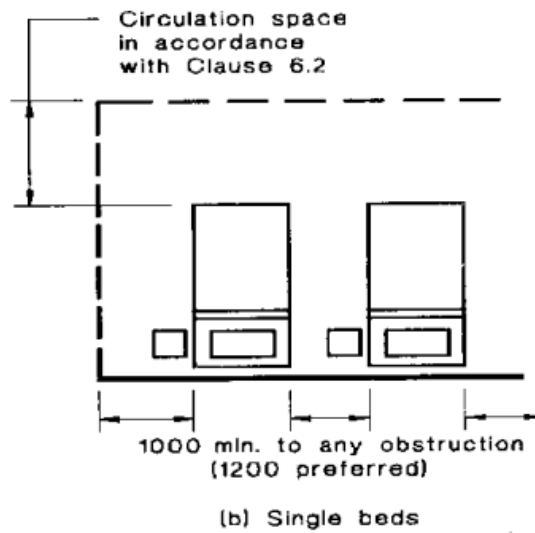
- Lightweight gliders should be installed for drawers.



DIMENSIONS IN MILLIMETRES

FIGURE 28 STORAGE SHELVES AND WARDROBES

- + **Cl. 24.3 Beds** – The height of the mattress top shall be not less than 480-500mm above FFL when compressed by a weight of 90kg. A clear circulation of 1000mm clear width is required as indicated below.





4.0 Conclusion

This report contains an assessment of the referenced architectural documentation for the Schematic Design comprising delivery of six (6) new Palliative Care beds for the Hunter New England Local Health District

(HNELHD) within Level 00 of the Existing Acute Services Building (ASB) at Tamworth Hospital against Part D4 deemed-to-satisfy provisions of the Building Code of Australia 2022.

Arising from the assessment, key compliance issues have been identified that require further resolution, either by way of Access Performance Solutions or plan amendments prior to the BCA Crown Certificate stage.

Notwithstanding the above, it is considered that the proposed development can readily achieve compliance with the Disability (Access to Premises – Buildings) Standards 2010 and Part D4 provisions of the BCA subject to resolution of the matters identified in the Section 3.0 of this report.



Appendices

+ Appendix 1 – D4D5 Exemption Letter from client

To be appended at Crown Certificate Stage once prepared